

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: July 13, 2006

ITEM NO. _____

CASE NUMBER/
PROJECT NAME

53-DR-2006
SGA Hangars

LOCATION

15555 N. 78th Street

REQUEST

Request for approval of a site plan and elevations for a new hangar/office building.

OWNER

Service Group of America
206-933-4890

ENGINEER

Hook Engineering
602-956-3200

ARCHITECT/
DESIGNER

Larson Associates
Architects Inc.
602-955-9929

APPLICANT/
COORDINATOR

Scott Wahtola
Larson Associates
Architects Inc.
602-955-9929

BACKGROUND

Zoning.

This property is zoned Industrial Park District (I-1), which allows industrial, office, manufacturing, warehousing, and aeronautical uses.

Context.

The 3-acre site is located on N. 78th Street south of the E. Greenway-Hayden Loop Road, and within the Scottsdale Airpark adjacent to an aircraft taxi lane. I-1 District zoning surrounds the property, and similar industrial/aircraft land uses surround the site.

Adjacent Uses:

- North: Industrial warehouse/office, zoned I-1 District
- South: Vacant, zoned I-1 District
- East: Industrial warehouse/office, zoned I-1 District
- West: Industrial warehouse/office, zoned I-1 District

APPLICANT'S
PROPOSAL

Applicant's Request.

This is a request for approval of site plan and elevations for four (4) new private aircraft hangars with associated offices.

Development Information:

- Existing Use: Vacant
- Proposed Use: Office/Hangar
- Parcel Size: 3.1 acres
- Building Size: 35,000 sq.ft.

- Building Height Allowed: 36 feet
- Building Height Proposed: 36 feet
- Parking Required: 10 spaces
- Parking Provided: 36 spaces
- Open Space Required: 20,089 square feet
- Open Space Provided: 25,225 square feet
- FAR: 0.255

DISCUSSION

The site plan proposes two driveways from N. 78th Street with immediate access to parking lots. The streetscape also includes a landscaped stormwater retention basin in the front of two of the hangar buildings. The other two hangar buildings are set back behind the parking lots, and all hangar buildings surround a common aircraft staging area located in the center of the site.

The proposed hangar buildings will be constructed of tilt panel concrete painted a dark gray. Accent colors include a light sand texture stucco building inset painted a dark blue color (Dunn-Ewards Deep Reservoir – DE5874), and a light sand texture stucco accent header painted a gray-brown color (Fallen Rock). Large hangar roll doors will be painted to match the dark gray concrete color. Additional accents include a series of horizontal reveals in the tilt slab painted a gray-blue color (Lakeville), a variety of 2-inch aluminum channel reveals in the tilt slab, and perforated silver metal shading accents. Windows will be a blue tinted glass with aluminum window framing.

Landscaping includes Blue Palo Verde, Desert Willow, Ironwood, Sweet Acacia, Palo Brea, and Palo Verde trees, along with a variety of cacti and other low water use shrubs and groundcover.


STAFF
RECOMMENDATION


Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

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APPROVED BY


Tim Curtis, AICP
Report Author


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ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Project Narrative

Services Group of America's development arm, Development Services of America is proposing a complex of four hangars located at 15555 North 78th Way. The hangars are conventional buildings providing office and support space for the hangars. No additional office, warehouse or manufacturing spaces is being provided in this development. The hangars are being proposed for a vacant parcel which consists of two lots. The site also has an Ingress and Egress easement. The lots are in the process of being combined. We acknowledge that the lot combination and the easement abandonment must both be completed prior to our being allowed to submit documents for plan review

The hangars total approximately 34,947 ft² with the largest hangar having an area of 13,254 ft², two hangars sharing a common wall of 8,255 ft² each and a smaller hangar having 5,183ft². The largest hangar will be occupied by the developer's company and its aircraft.

The project construction materials are tilt panel concrete (painted), glass, aluminum framing for the windows and metal accents, shown clearly on the colored elevations. Hangar doors, which do not face the street, are painted steel.

The project is intended to be built in phases although we are requesting Design Review approval for the entire complex. The northernmost hangar will be constructed as the first phase along with pad development for the others as well as the complete staging area. The remaining hangars will be built in response to market demand. Interest now being shown could revise this schedule, thus the reason for requesting design review approval for the complex.

The project complies with volume, landscape, open space, coverage and height requirements. Retention is handled both above grade in retention basins and below grade in corrugated metal pipe containments. We are aware that a separate approval process, already initiated, is required for the below grade retention. No exceptions to applicable zoning ordinances are being requested.

On behalf of Development Services of America, Inc., we therefore request design review approval for this project.

ATTACHMENT #1



SGA Hangars

53-DR-2006

ATTACHMENT #2



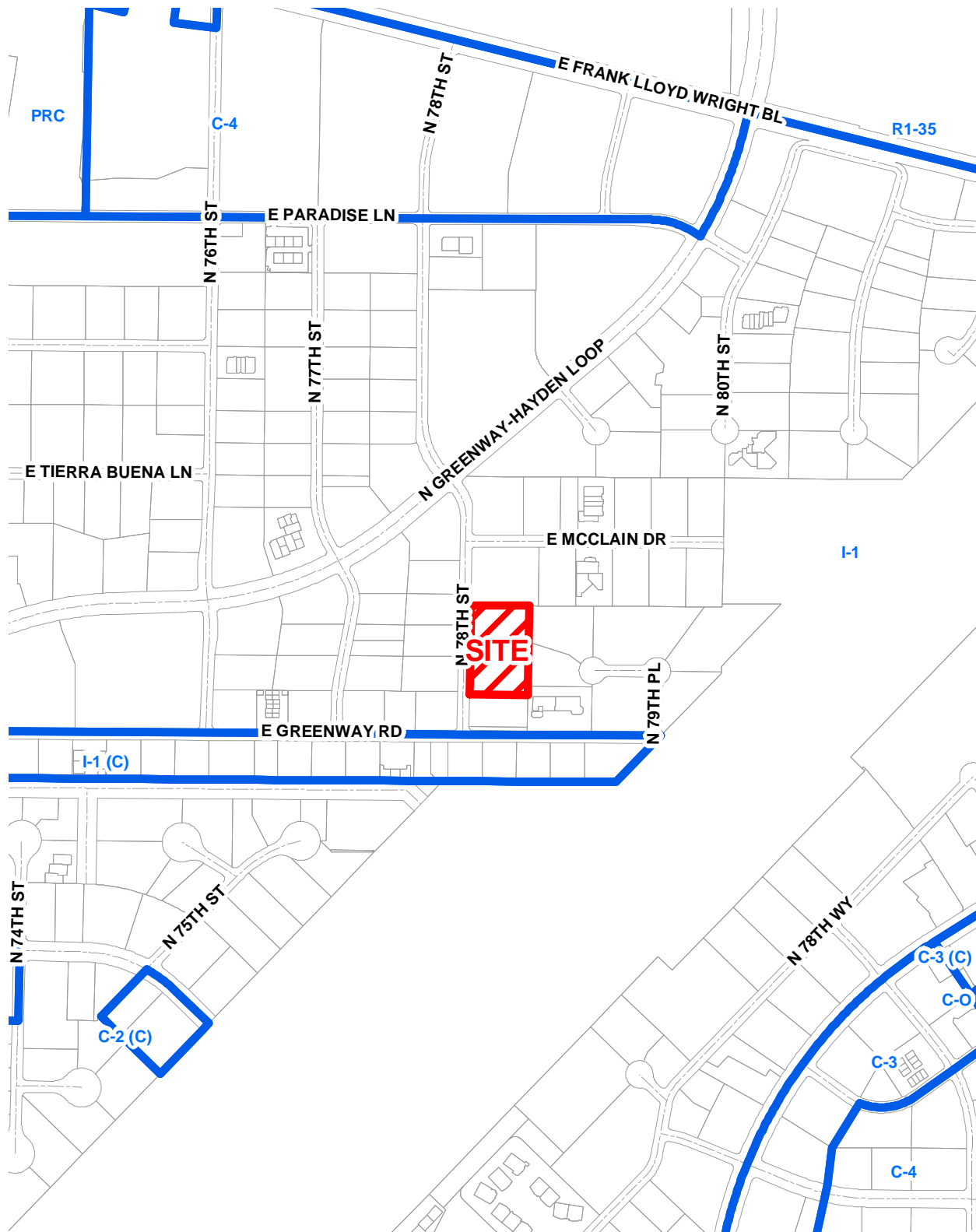
Q.S.
35-46

G.I.S. ORTHOPHOTO 2005

SGA Hangars

53-DR-2006

ATTACHMENT #2A



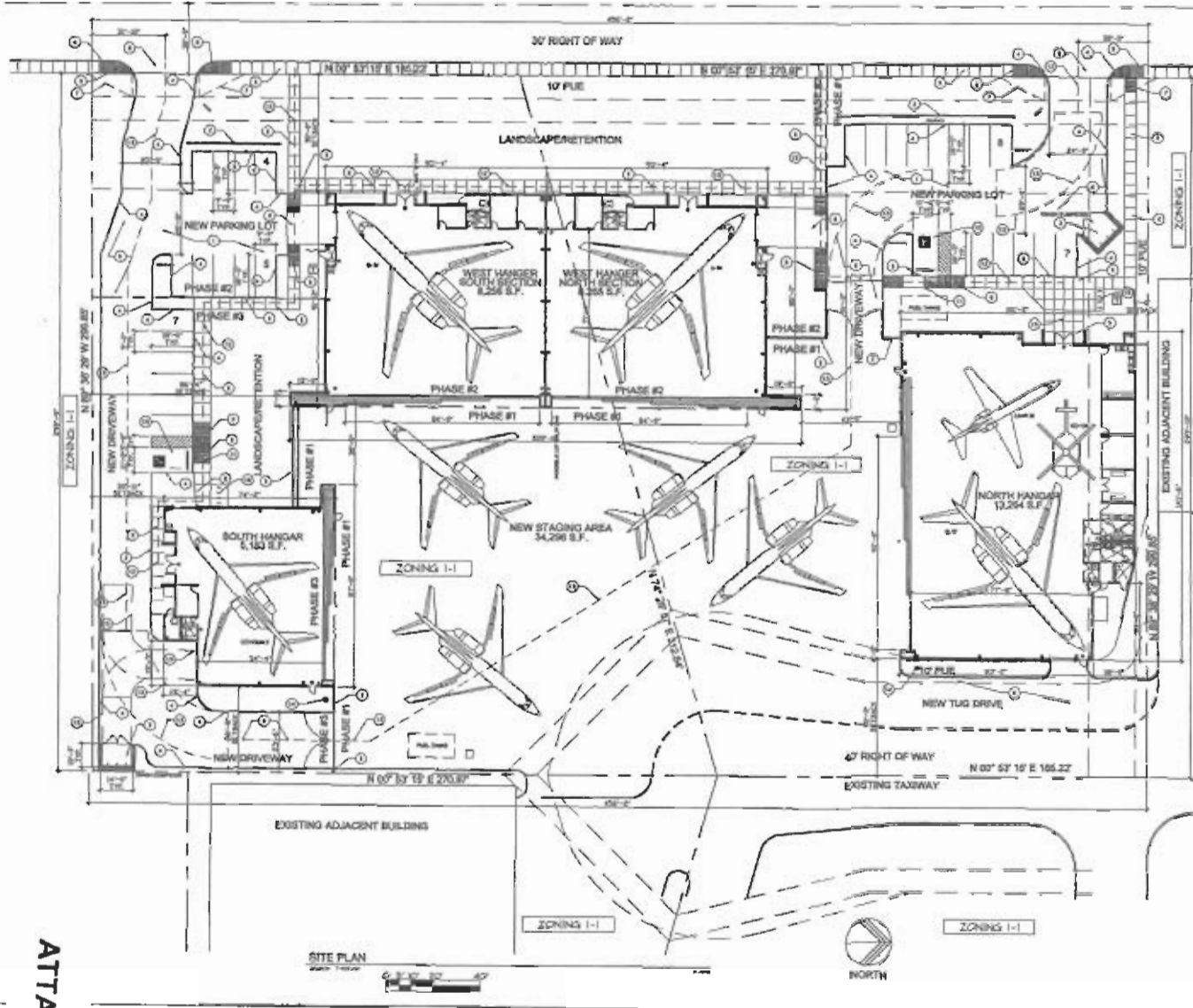
53-DR-2006

ATTACHMENT #3



78th STREET

ATTACHMENT #4



OWNER
SERVICE GROUP OF AMERICA
RELOCATING TO SCOTTSDALE, ARIZONA
CONTACT THE ARCHITECT FOR ALL
CORRESPONDENCE

ARCHITECT
LARSON ASSOCIATES ARCHITECTS INC.
CONTACT: SCOTT SANTOLUCCIA, PRINCIPAL
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PROJECT INFORMATION

PROJECT DESCRIPTION

THE RELOCATION OF THE SERVICE GROUP OF AMERICA
FROM PHOENIX TO A NEW SITE IN SCOTTSDALE, ARIZONA

PROJECT PHASES
PHASE 1: EXISTING BUILDING RENOVATION
PHASE 2: NEW BUILDING CONSTRUCTION
PHASE 3: LANDSCAPE AND SITEWORK

PROJECT SITES
SITES 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

COMPLETION TIME
SCHEDULED FOR COMPLETION
SCHEDULED FOR COMPLETION

PHASE 1: EXISTING BUILDING RENOVATION
PHASE 2: NEW BUILDING CONSTRUCTION
PHASE 3: LANDSCAPE AND SITEWORK

PHASE 1: EXISTING BUILDING RENOVATION
PHASE 2: NEW BUILDING CONSTRUCTION
PHASE 3: LANDSCAPE AND SITEWORK

SITE PLAN KEYNOTES

1. AIRPORT PARKING LOT REMOVED PER CITY OF SCOTTSDALE CODES ORDINANCE - SEE CIVIL PLAN
2. SITE WALL
3. EXISTING ENCLOSURE
4. CONCRETE CURB AND GUTTER
5. 3'-0" WIDE INTERLOCKING CONCRETE PAVING, WITH LIGHT BRICK PAVEMENT
6. ASPHALT DRIVEWAY
7. TRAFFIC VISIBILITY TRIANGLE TO BE MAINTAINED TO REMAIN CLEAR OF OBSTRUCTIONS FROM 7'-0" TO 7'-0" ABOVE GRADE
8. DRIVEWAY CURB CUT
9. ACCESSIBILITY RAMP PER ADA STANDARDS (SEE GROUNDED CONCRETE AT RAMP IN TRUCKED OFF-ROADS FOR TRAFFIC SIGNING)
10. ALL ACCESSIBLE PARKING SPACE PER ADA STANDARDS
11. ALL ACCESSIBLE PARKING SPACE PER ADA STANDARDS
12. LINE INDICATING ACCESSIBLE ROUTE OF TRAVEL
13. FIRE TRUCK LINE AND TURNING RADIUS PER CITY OF SCOTTSDALE REQUIREMENTS (SEE 1/4" IN 1/4" IN 1/4")
14. FIRE VEHICLE - SEE CIVIL DRAWING
15. INTERLOCKED PAVEMENT FOR REPAIR DRIVEWAY, VEHICLES
16. SEE CIVIL PLAN FOR CITY OF SCOTTSDALE STANDARDS

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SERVICE GROUP OF AMERICA
15515, 15535, 15545 AND 15555 NORTH 18TH STREET
SCOTTSDALE, ARIZONA
PARCEL 215-47-003N/P



Drawing Name
SITE PLAN

Revisions

Date: 06/19/06

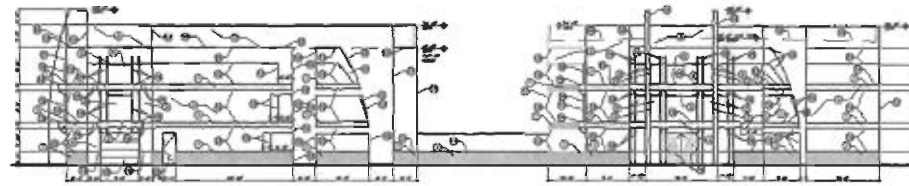
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Drawing No.

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311-PA-217X

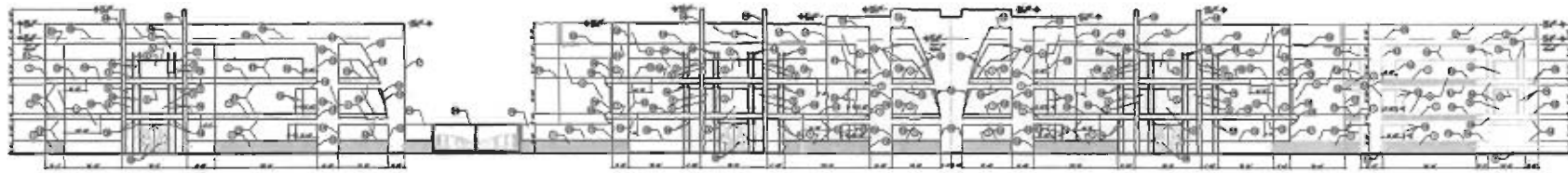
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REV: 06/19/2006



SOUTH ELEVATION - ENTIRE SITE

SCALE: 1/8" = 1'-0"

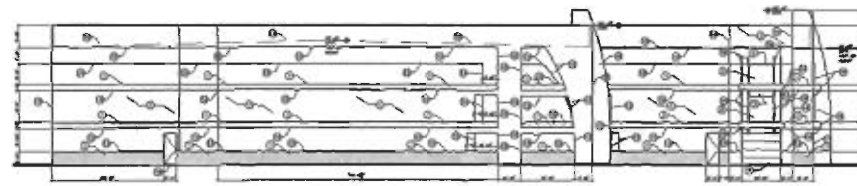
1/8" = 1'-0"



WEST STREET ELEVATION - ENTIRE SITE

SCALE: 1/8" = 1'-0"

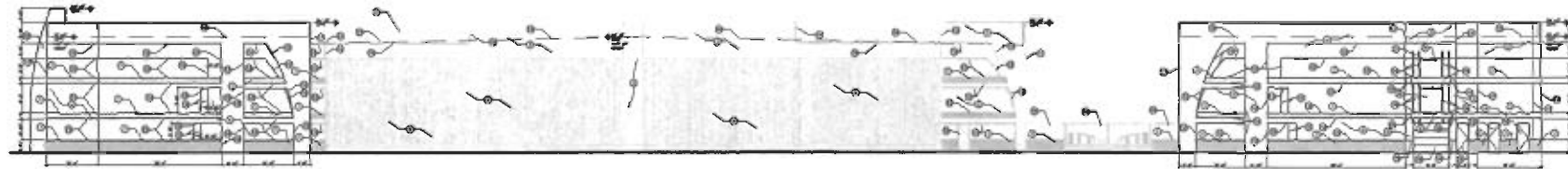
1/8" = 1'-0"



NORTH ELEVATION - ENTIRE SITE

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"



EAST TARMAC ELEVATION - ENTIRE SITE

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"

ELEVATION KEYNOTES

1. SERIES OF HORIZONTAL REVEALS IN CONCRETE TILT SLAB
2. PAINTED DOWN EDGERS WITH LAMINATE
3. CLEAR ANODIZED ALUMINUM STOREFRONT FRAMES
4. EPS - LIGHT BAND TEXTURE TO BE PAINTED TO MATCH FINAL CONCRETE FIELD COLOR DOWN EDGERS AND FALLER (ROOF)
5. TILT-UP CONCRETE PANELS COLOR TO BE DARK GRAY - SEE STRUCTURAL DRAWINGS AND WALL SECTIONS
6. EXTERIOR SLABS TINTED VITRONS VERTICAL BLUE 5000*
7. SMOOTH MINOR ROLL COOR - SEE SPEC. AND SHOP DRAWINGS - PAINT TO MATCH FINAL CONCRETE FIELD COLOR
8. EXTERIOR LIGHTING - SEE ELECTRICAL DRAWINGS
9. MECHANICAL UNITS BEHIND PARAPET FULLY SCREENED BY PARAPET
10. ALUMINUM METAL OVERHEAD DOOR AND FRAME - SEE DOOR TYPES ON SHEET AND
11. DASH LINE INDICATES LINE OF ROOF BEHIND PARAPET
12. ROOF DRAIN DAYLIGHT LINE OUT ONTO CONC. SPLASH BLOCK
13. 2" ALUMINUM CHANNEL IN TILT SLAB REVEAL - SEE DETAIL
14. TILT SLAB PANEL JOINT AND REVEAL - SEE DETAIL
15. REVEAL - CONC. TILT SLAB TO EPS HEADER JOINT SEE DETAIL

16. HOLLOW METAL DOOR PAINTED TO MATCH FRAME
17. ALUMINUM CHANNEL IN EPS REVEAL - SEE DETAIL
18. CHAMFERED CONCRETE TILT SLAB JOINT - SEE DETAIL
19. PERFORATED METAL ALUMINUM BAR SCREEN - SEE DETAIL
20. TILT SLAB CONCRETE SITE WALL
21. CLEAR ANODIZED ALUMINUM GATE
22. EPS - LIGHT BAND TEXTURE TO BE PAINTED DOWN EDGERS WITH DEEP RESEALANT

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 19525, 19535, 19545 AND 19555 NORTH 18TH STREET
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Drawing Name:
 Exterior Elevation
 Series 018

Revisions

Date: 05/05/06
 Project Number:
 2006-04
 Drawing No:

53-DR-2006
 REV: 6/19/2006

A2.0

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2000 2000



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SERVICE GROUP OF AMERICA
15015, 15035, 15045 AND 15055 NORTH 10TH STREET
SCOTTSDALE, ARIZONA
PARCEL 715-47-003UP



Drawing Name:
exterior elevation
north door

Website:

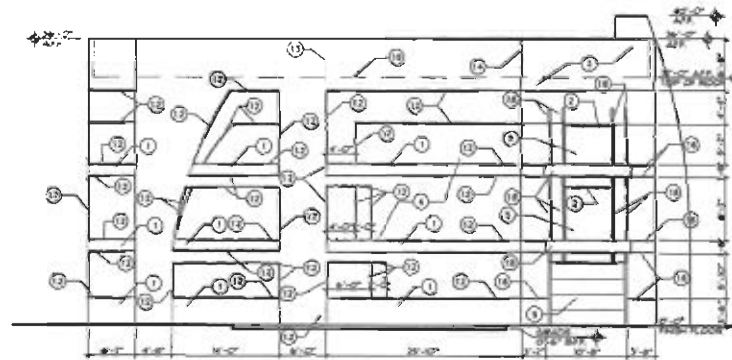
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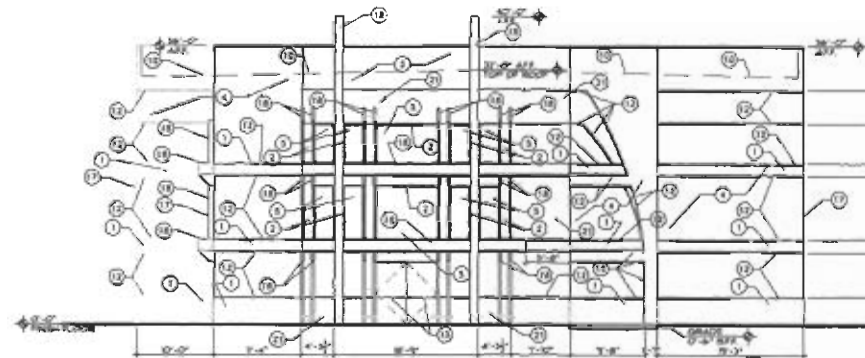
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WEST ELEVATION - SOUTH BUILDING

SCALE: 3/8"=1'-0"



SOUTH ELEVATION - SOUTH BUILDING

SCALE: 3/8"=1'-0"

ELEVATION KEYNOTES

- 1 SERIES OF HORIZONTAL REVEALS IN CONCRETE TILE SLAB
- 2 PAINTED DARK STAINLESS STEEL LAKESVILLE
- 3 CLEAR ANODIZED ALUMINUM STONEFRONT FRAMES
- 4 EPS - LIGHT SAND TEXTURE TO BE PAINTED TO MATCH FINAL CONCRETE FIELD COLOR DOWN EDWARDS WITH FALLON ROCK
- 5 TILT-UP CONCRETE PANELS SLOPE TO AN OVERHANG - SEE STRUCTURAL DRAWINGS AND GALL. SECTIONS
- 6 EXTERIOR GLASS TINTED VERTICAL VERTICAL BLUE 300FT
- 7 HOLLOW INSULATED WALL CONCRETE - SEE SPEC. AND SHOP DRAWINGS - PAINT TO MATCH FINAL CONCRETE FIELD COLOR
- 8 EXTERIOR LIGHTING - SEE ELECTRICAL DRAWINGS
- 9 MECHANICAL UNITS BEHIND PARAPET FULLY SCREENED BY PARAPET
- 10 ALUMINUM METAL OVERHEAD DOOR AND FRAME - SEE DOOR TYPES ON SHEET 44-0
- 11 DASH LINE INDICATES LINE OF ROOF BEHIND PARAPET
- 12 ROOF DRAIN DAYLIGHT LINE OUT INTO CONC. SPLASH BLOCK
- 13 TYP. ALUMINUM CHANNEL IN TILT SLAB REVEAL - SEE 24-00
- 14 TILT SLAB PANEL JOINT AND REVEAL - SEE 24-00
- 15 REVEAL - CONC. TILT SLAB TO EPS HEADERS JOINT SEE DETAIL
- 16 HOLLOW METAL DOOR PAINTED TO MATCH FRAME
- 17 ALUMINUM CHANNEL IN EPS REVEAL - SEE DETAIL
- 18 CHARTERED CONCRETE TILT SLAB JOINT - SEE DETAIL
- 19 PERFORATED METAL ALUMINUM BURN SCREEN - SEE DETAIL
- 20 TILT SLAB CONCRETE MITE WALL
- 21 CLEAR ANODIZED ALUMINUM GATE
- 22 EPS - LIGHT SAND TEXTURE TO BE PAINTED DARK STAINLESS STEEL OVERHANG

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SERVICE GROUP OF AMERICA
 15575, 15535, 15545 AND 15555 NORTH 16TH STREET
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 PARCEL #19-4T-003N/P



Drawing Name:
 EXTERIOR ELEVATION
 SOUTH BUILDING

Revisions

Date: 05/29/06

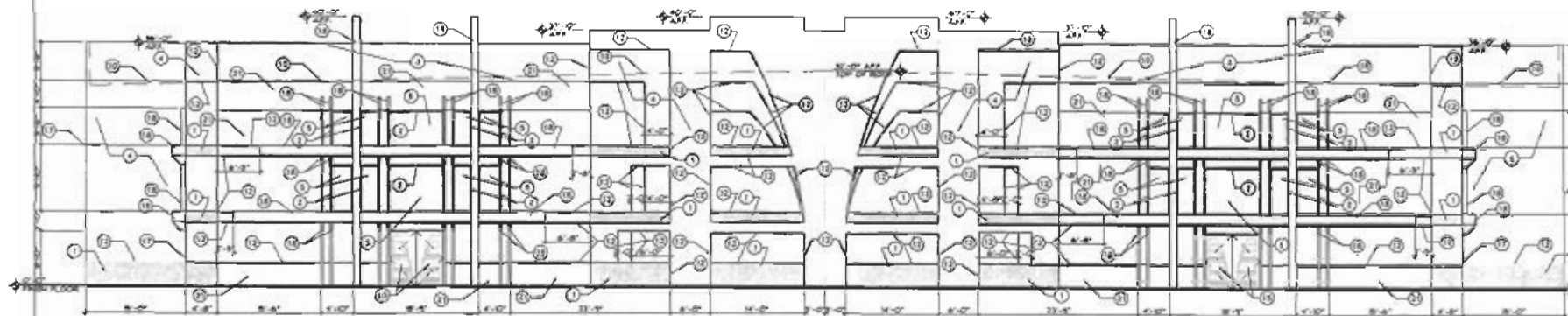
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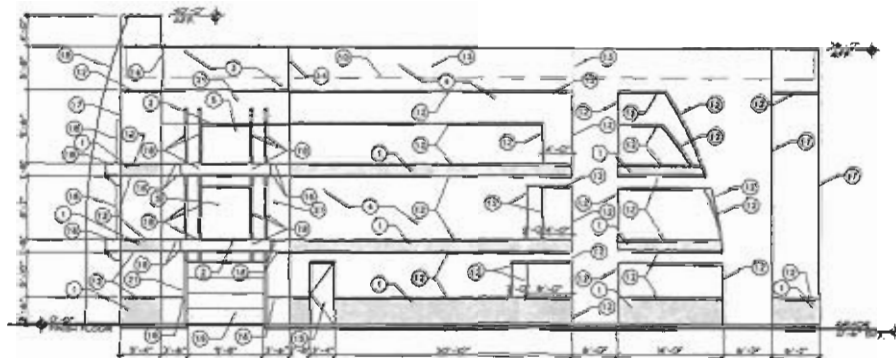
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6/19/2006



WEST ELEVATION - WEST BUILDING



SOUTH ELEVATION - WEST BUILDING

ELEVATION KEYNOTES

- 1 SERIES OF HORIZONTAL REVEALS IN CONCRETE TILT BLADE PAINTED DARK EGGSHHELL WHITE LAMINATE
- 2 CLEAR ANODIZED ALUMINUM SCREENING FRAMES
- 3 EPS - LIGHT SAND TEXTURE TO BE PAINTED TO MATCH FINAL CONCRETE FIELD COLOR (DARK SQUARES AND FALLER ROOF)
- 4 TILT-UP CONCRETE PANELS COLOR TO BE DARK GRAY - SEE STRUCTURAL DRAWINGS AND SHAL SECTION
- 5 EXTERIOR SLABS TYPED VERTICALLY HORIZONTAL BLUE ARRAY
- 6 HORIZONTAL ROLL DOOR - SEE SPEC. AND SHOP DRAWINGS - PAINT TO MATCH FINAL CONCRETE FIELD COLOR
- 7 EXTERIOR LIGHTING - SEE ELECTRICAL DRAWINGS
- 8 MECHANICAL UNITS BEHIND "PILASTER" SLATS SCREENED BY "PILASTER"
- 9 ALUMINUM METAL OVERHEAD DOOR AND FRAME - SEE DOOR TYPES ON BASE AND
- 10 DASH LINE INDICATES LINE OF ROOF BEHIND PARAPET
- 11 ROOF DRAIN DAYLIGHT LINE OUT INTO CONC. SPLASH BLOCK
- 12 2" ALUMINUM CHANNEL IN TILT BLADE REVEAL - SEE SHAL
- 13 TILT BLADE PANEL JOINT AND REVEAL - SEE SHAL
- 14 REVEAL & CONC. TILT BLADE TO EPS HEADER JOINT SEE DETAIL
- 15 HOLLOW METAL DOOR PAINTED TO MATCH FINAL
- 16 ALUMINUM CHANNEL IN EPS REVEAL - SEE DETAIL
- 17 CHARTERED CONCRETE TILT BLADE JOINT - SEE SHAL
- 18 PERFORATED METAL ALUMINUM RAIL SCREEN - SEE DETAIL
- 19 TILT BLADE CONCRETE SITE WALL
- 20 CLEAR ANODIZED ALUMINUM BARS
- 21 EPS - LIGHT SAND TEXTURE TO BE PAINTED DARK EGGSHHELL WHITE

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SERVICE GROUP OF AMERICA
15505, 15535, 15545 AND 15555 NORTH 18TH STREET
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PARCEL 715-A7-003N/P



Drawing Name:
EXTERIOR ELEVATIONS
WEST BUILDING

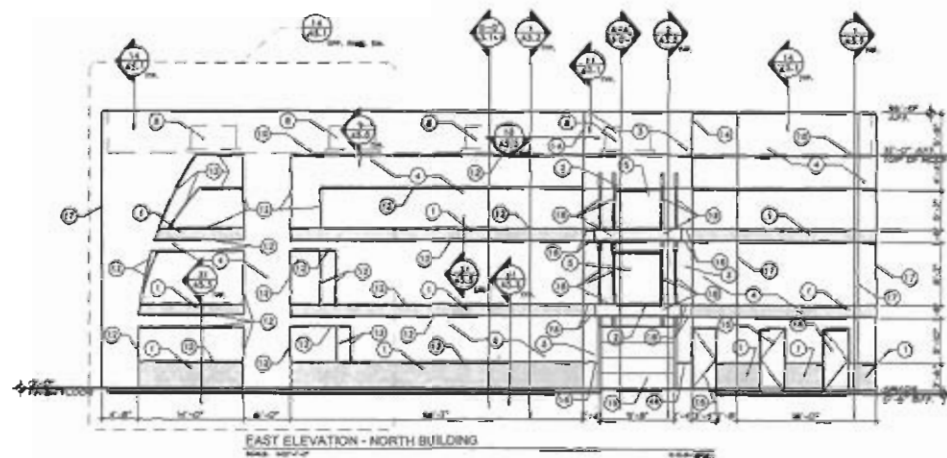
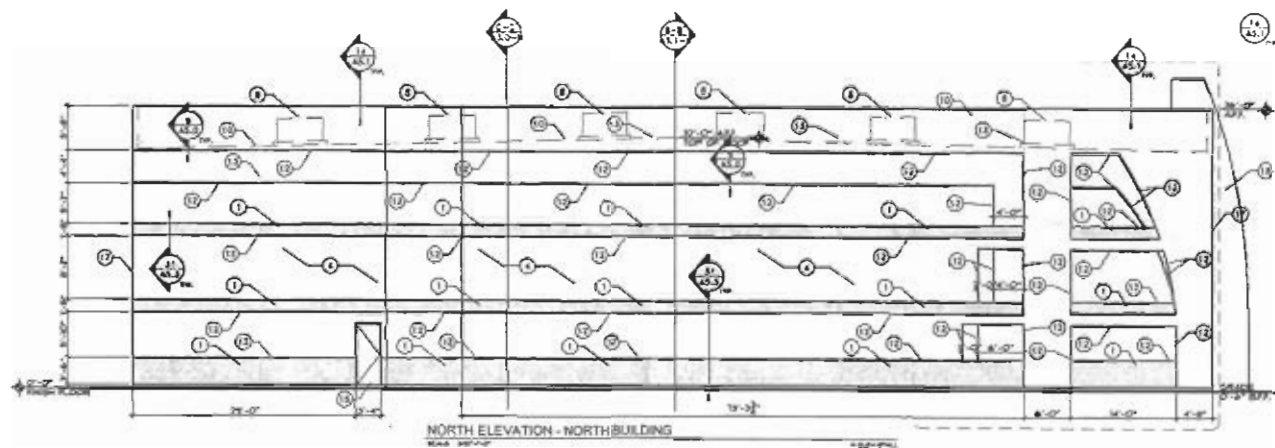
Revision:

Date: 05/25/06
Project Number:
1006-04
Drawing No:

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REV: 6/19/2006

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ELEVATION KEYNOTES

1. SERIES OF HORIZONTAL REVEALS IN CONCRETE TILT SLAB
2. PAINTED DUNE EDWARDS SITE LARGE WALL
3. CLEAR ANODIZED ALUMINUM STOREFRONT FRAMES
4. EPS - LIGHT SAND TEXTURE TO BE PAINTED TO MATCH FINAL CONCRETE FIELD SOLID DUNE EDWARDS 4000 FALLS CHOCOLATE
5. TILT-UP CONCRETE PANELS COLOR TO BE DARK GRAY - SEE STRUCTURAL DRAWINGS AND WALL SECTIONS
6. EXTERIOR GLASS TINTED VISION VERTICAL BLUE SMOOT
7. HORIZONTAL WINDOW ROLL DOOR - SEE SPEC. AND SHOP DRAWINGS - PAINT TO MATCH FINAL CONCRETE FIELD COLOR
8. EXTERIOR LIGHTING - SEE ELECTRICAL DRAWINGS
9. MECHANICAL UNITS BEHIND PARAPET FULLY SCREENED BY PARAPET
10. ALUMINUM METAL OVERHEAD DOOR AND FRAME - SEE DOOR TYPES ON SHEET 410
11. DASH LINE INDICATES LINE OF ROOF BEHIND PARAPET
12. ROOF DRAIN DOWNSIDE SEE DET. ONTO DUNE EDWARDS BLUISH SLUGS
13. P ALUMINUM CHASSIS IN TILT SLAB REVEAL - SEE DUNE
14. TILT SLAB PANEL JOINT AND REVEAL - SEE DETAIL
15. REVEAL - CONCRETE TILT SLAB TO EPS HEADER JOINT SEE DETAIL
16. HOLLOW METAL DOOR PAINTED TO MATCH BLANK
17. ALUMINUM CHASSIS IN EPS REVEAL - SEE DETAIL
18. CHAMFERED CONCRETE TILT SLAB JOINT - SEE DETAIL
19. PERFORATED METAL ALUMINUM SCREEN - SEE DETAIL
20. TILT SLAB CONCRETE SITE WALL
21. CLEAR ANODIZED ALUMINUM GATE
22. EPS - LIGHT SAND TEXTURE TO BE PAINTED DUNE EDWARDS 4000 FALLS CHOCOLATE

53-DR-2008
REV: 6/19/2006

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15525, 15535, 15545 AND 15555 NORTH 78th STREET
SCOTTSDALE, ARIZONA
PARCEL 71B-47-003NP



Building Name:
EXTERIOR ELEVATION
NORTH BUILDING

Revising

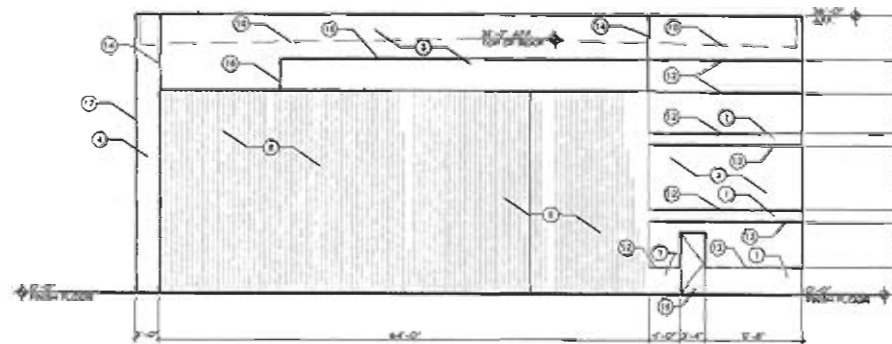
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Project Number:
15525-04

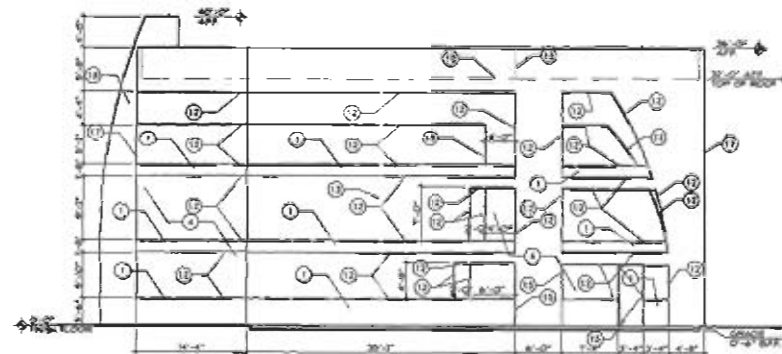
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312-PA-2006



NORTH ELEVATION - SOUTH BUILDING



EAST ELEVATION - SOUTH BUILDING

ELEVATION KEYNOTES

- 1 SERIES OF HORIZONTAL REVEALS IN CONCRETE TILE BLANK PAINTED DARK EDGEMORE SET LINDVILL
- 2 GLASS AND WOOD ALUMINUM WINDOW
- 3 EPS - LIGHT SAND REVEALS TO BE PAINTED TO MATCH FINAL CONCRETE FIELD COLOR (DOWN EDGEMORE SET FALLER ROOF)
- 4 TILT UP CONCRETE PANELS COLOR TO BE DARK GRAY - SEE STRUCTURAL DRAWINGS AND WALL SECTION
- 5 EXTERIOR GLASS TINTED VISION VERSALUX BLUE SCOTT
- 6 HORIZONTAL ROLL DOOR - SEE SPEC. AND SHOP DRAWINGS - PAINT TO MATCH FINAL CONCRETE FIELD COLOR
- 7 EXTERIOR LIGHTING - SEE ELECTRICAL DRAWING
- 8 MECHANICAL JOINT BEHIND PANELS TILT SCREENED BY PANELS
- 9 ALUMINUM METAL OVERHEAD DOOR AND FRAME - SEE DOOR TYPES ON SHEET AND
- 10 DASH LINE INDICATES LINE OF ROOF BEHIND PANELS
- 11 ROOF DRAIN DAYLIGHT LINE OUT INTO GROUND FLASH BLOCK
- 12 7" ALUMINUM CHANNEL IN TILT SLAB REVEAL - SEE DETAIL
- 13 TILT SLAB REVEAL JOINT AND REVEAL - SEE DETAIL
- 14 REVEAL - EPS TILT SLAB TO EPS REVEAL JOINT SEE DETAIL
- 15 HOLLOW METAL DOOR PAINTED TO MATCH FRAME
- 16 ALUMINUM CHANNEL IN EPS REVEAL - SEE DETAIL
- 17 CLAMPED CONCRETE TILT SLAB JOINT - SEE DETAIL
- 18 PERFORATED METAL ALUMINUM AIR SCREEN - SEE DETAIL
- 19 TILT SLAB CONCRETE SITE DATA
- 20 GLASS AND WOOD ALUMINUM DOOR
- 21 EPS - LIGHT SAND REVEALS TO BE PAINTED DARK EDGEMORE SET DARK REVEAL

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LOISON

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15525, 15535, 15545 AND 15555 NORTH 18th STREET
SCOTTSDALE, ARIZONA
PARCEL 215-41-0034/P



Drawing Name:
EXTERIOR ELEVATION
SOUTH BUILDING

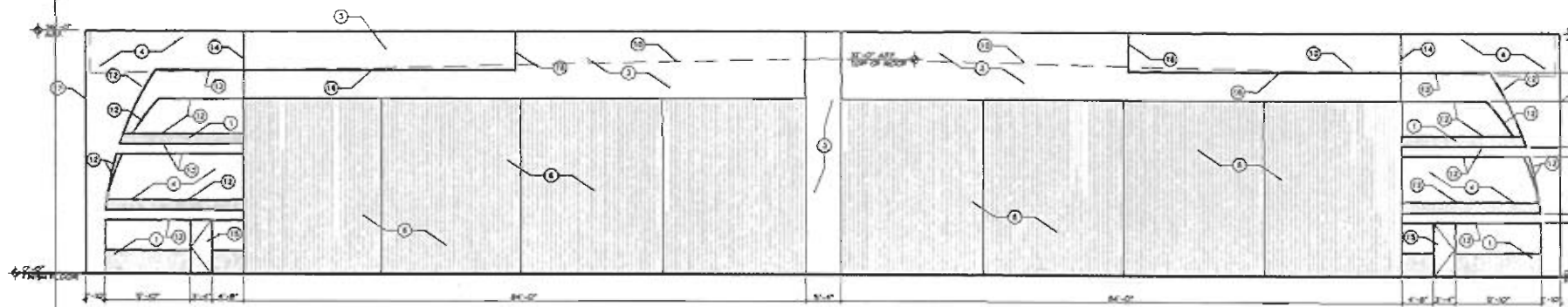
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Date: 09/25/06
Project Number:
2006-04
Drawing No:

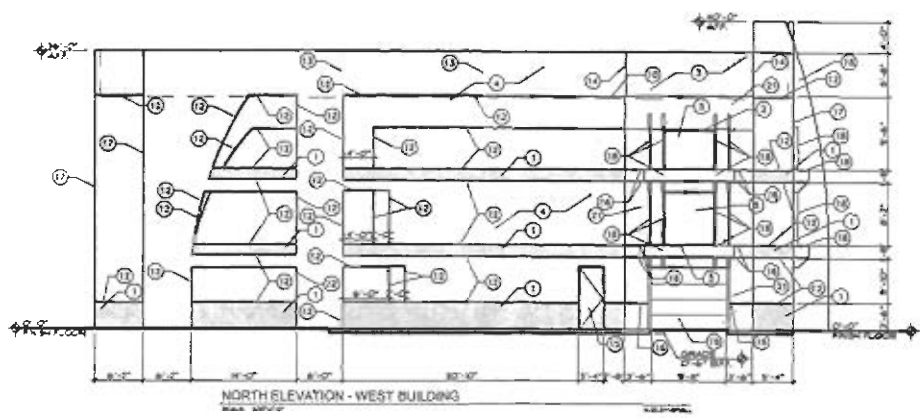
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6/19/2006



EAST ELEVATION - WEST BUILDING



NORTH ELEVATION - WEST BUILDING

ELEVATION KEYNOTES

- 1 SERIES OF HORIZONTAL REVEALS IN CONCRETE TILT SLAB
PAINTED DARK EDGEMORE SFS LIKEVILLE
- 2 CLEAR WOODZED ALUMINUM STORMDOOR FRAMES
- 3 EPS - LIGHT SAND TEXTURE TO BE PAINTED TO MATCH FINAL
CONCRETE FIELD COLOR (DOWN EDGEMORE SFS FALLER
ROCK)
- 4 TILT UP CONCRETE PANELS COLOR TO BE DARK GRAY - SEE
STRUCTURAL, CHASERS AND WALL SECTIONS
- 5 EXTERIOR SLABS TYPED VERSION VERSALUX BLUE 3000T
- 6 HORIZONTAL ROLL DOOR - SEE SPEC. AND SHOP
DRAWINGS - PAINT TO MATCH FINAL CONCRETE FIELD COLOR
- 7 EXTERIOR LIGHTING - SEE ELECTRICAL CHASERS
- 8 HORIZONTAL INTS BEHIND PARAPET RALLY SCREENED BY
PARAPET
- 9 ALUMINUM METAL OVERHEAD DOOR AND FRAMES - SEE DOOR
TYPES ON SHEET 440
- 10 DASH LINE INDICATES LINE OF ROOF BEHIND PARAPET
- 11 ROOF DRAIN DAYLIGHT LINE OUT OVER CONC. FLASH BLOCK
- 12 1" ALUMINUM CHANNEL IN TILT SLAB REVEAL - SEE DRAIN
- 13 TILT SLAB PANEL JOINT AND REVEAL - SEE DRAIN
- 14 REVEAL - 1" CONC. TILT SLAB TO EPS HEADER JOINT SEE
DETAIL
- 15 HOLLOW METAL DOOR PAINTED TO MATCH FRAMES
- 16 ALUMINUM CHANNEL IN EPS REVEAL - SEE DETAIL
- 17 CHAMFERED CONCRETE TILT SLAB JOINT - SEE DRAIN
- 18 PERFORATED METAL ALUMINUM SUN SCREEN - SEE DETAIL
- 19 TILT SLAB CONCRETE SITE WALL
- 20 CLEAR WOODZED ALUMINUM SATE
- 21 EPS - LIGHT SAND TEXTURE TO BE PAINTED DARK EDGEMORE
SFS DEEP REVEAL

Larson Associates Architects, Inc.
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SERVICE GROUP OF AMERICA
15525, 15535, 15545 AND 15555 NORTH RIBBAND DRIVE
SCOTTSDALE, ARIZONA
PARCEL #15-47-003N/P



Drawing Name:
Exterior Elevations
West Building

Revisions

Date: 09/09/06
Project Number:
2006-04
Drawing No:

53-DR-2006
REV: 6/19/2006

A2.1-W

311-PA-2006

Service Group of America
15525, 15535, 15545, & 15555 N. 78th Street
Scottsdale, AZ

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.

AS Shown

- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☒ B. PADLOCK
 - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☐ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☐ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____

- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☐ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

ATTACHMENT A

20. ☒ **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- ☐ A. **MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- ☐ B. **MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- ☒ C. **NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: Lt Haz & Ex Haz Gp 1 SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.**
- ☐ D. **THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:**
- ☐ E. **SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.**
- ☐ F. **THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case:
Case Name
Case 53-DR-2006

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Larson Associates, Inc. with a staff receipt date of 6/19/06.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Larson Associates, Inc. with a staff receipt date of 6/19/06.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by LVA Urban Design Studio L.L.C. with a staff receipt date of 5/26/06.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. *At time of final plans the developer shall provide a roof plan analysis, which shall identify the area by square footage for mechanical screening.*
3. *At time of final plans the elevations shall be revised to show the building height analysis for each building.*
4. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
5. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
6. All exterior conduit and raceways shall be painted to match the building.
7. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
8. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
9. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
10. Chain link fencing shall not be allowed.
11. Dooley wall fencing shall not be allowed.
12. All walls shall match the architectural color, materials and finish of the building(s).

ATTACHMENT B

SITE DESIGN:

DRB Stipulations

13. *Prior to or concurrent with the final plans submittal the developer shall submit for a Land Assemblage Application.*
14. *Prior to or concurrent with the final plans submittal the developer shall submit for a Release of Easement Application to release the Ingress/Egress easement that encroaches into the north hangar.*
15. *At time of final plans the developer shall provide a phasing plan, which identifies that all development standards for the district will be met at completion of each phase.*
16. *At time of final plans provide letter from utility company accepting the proposed location of the mechanical equipment and screening.*
17. *Retention should be calculated to show that the square footage within the front open space is less than 50%.*
18. *At time of final plans the developer shall provide documentation from the airport to show compliance with the stipulations listed within the Airport Area Development Communication Form dated June 9, 2006 by Airport Staff.*
19. *Each phase shall demonstrate sufficient office space in relation to the proposed hangars.*

Ordinance

- A. *Signs are by separate submittal, approval, and permit.*

OPEN SPACE:

DRB Stipulations

20. *Open space requirement shall be met at each phase of the development.*

LANDSCAPE DESIGN:

DRB Stipulations

21. *Landscape shall be provided within the Landscape area along the south property line.*
22. *The Landscape plan shall be revised to provide quantity of each proposed species.*
23. *Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.*
24. *Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.*

Ordinance

- B. *Fifty percent of trees shall be mature, as defined in Article III of the Zoning Ordinance. Indicate both the compliant caliper and industry standard box size for that caliper in the plant palette (Section 10.501.B, Zoning Ordinance).*
- C. *Trees shall not be located within a Public Utility Easement.*

EXTERIOR LIGHTING DESIGN:

DRB Stipulations

25. *All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.*
26. *The individual luminaire lamp shall not exceed 250 watts.*
27. *The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.*

28. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 2.5 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10.00 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

29. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

30. No exterior vending or display shall be allowed.
31. Flagpoles, if provided, shall be one piece, conical, and tapered.
32. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

*D. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were:
50-ZN-1980*

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

33. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
34. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
 - c. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
 - d. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - e. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- E. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
 - (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
 - (4) Off-site runoff must enter and exit the site as it did historically.
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- F. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- G. UNDERGROUND STORM WATER STORAGE. This site is approved to install an underground storage tank to temporarily store and discharge stormwater runoff for this site only.

ACCESS. The underground storage tank shall provide a four-foot minimum diameter manhole for access.

RESPONSIBILITY OF MAINTENANCE. Before the approval of improvement plans by city staff, the developer shall provide the Project Quality/Compliance Division with written documentation that states the following:

The developer and/or his assigns agree to maintain the underground storm water storage tank in perpetuity.

The developer and/or his assigns, the developer's engineer and contractor assume all liability for the design, construction and maintenance of the underground storm water storage tank and hold harmless the City from any such liability.

LIMITS OF INUNDATION. The final drainage report shall verify limits of inundation in the event the underground storm water storage tank is in partial and full conditions (not fully drained) when the 100-year, 2-hour storm event occurs. (See item 2 above.)

REFERENCE PERTINENT CODE. The final drainage report shall:

Provide a copy of the Scottsdale Revised Code Section 37-45 in the appendix.

Reference the Scottsdale Revised Code Section 37-45 and emphasize the importance of maintenance for the purposes of public health and safety. (See item 2 above.)

SIGNAGE. The improvement plans shall provide for signage at each end of the underground storage tanks. The sign shall read, "Notice Underground Storm water Storage Tank" The size, color and exact locations to be determined by city staff.

TANK DRAINAGE. A bleed-off line from the underground storage tank to a proposed underground bleed off pipe discharging to the center of the south property line shall be provided. Storm water storage tanks should be designed to meter flow to the historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.

TANK SPECIFICATIONS. The storage tank shall be water tight with an oil and grease separator. See ASTM specifications for watertight testing.

O & M SCHEDULE. With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit an Operations and Maintenance (O & M) Manual. The O & M shall:

Identify the owner of the storage tank and the name of the firm or associations maintaining the storage tank. The contact information for the owner the maintenance associations shall list names, addresses, phone numbers and emergency phone numbers.

Include provisions for emergency operations due to power failure, pump failure, clogged outlet structures.

Include a maintenance log including a maintenance schedule for pump, tank/vault, inlet/outlet structures.

Specify that a copy of the maintenance log and a certified Letter of Inspection shall be issued to the City Inspection Services annually.

H. Drywells are not permitted.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

DRB Stipulations

35. No right of way or street improvements are required.
36. The developer shall design and construct two site driveways onto 78th Street in general conformance with Standard Detail #2256 for CL-1.
37. Construct a 6 foot wide sidewalk along the frontage on 78th Street, unless a sidewalk already exist.

Ordinance

- I. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

INTERNAL CIRCULATION:**DRB Stipulations**

38. The developer shall provide a minimum parking-aisle width of 24 feet.
39. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
40. The site driveways onto 78th need to be minimum 30 feet from the adjacent property line (measured to driveway centerline).
41. Construct sidewalk along the north side of the northern driveway, extending into site to connect to site building.

Ordinance

- J. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

EASEMENTS AND DEDICATIONS**DRB Stipulations**

42. Sight distance easements shall be dedicated over sight distance triangles.
 - a. Sight distance triangles must be shown on final plans for all driveways, and be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
43. Vehicular Non-Access Easement:
 - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on 78th Street except at the approved driveway location.
44. Indemnity Agreements:
 - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance**K. Drainage Easement:**

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

L. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

REFUSE:**DRB Stipulations**

45. The developer is proposing to install two refuse enclosures for this site. The configuration for the single refuse enclosure closest to 78th Street is satisfactory. The location and configuration of the proposed single refuse enclosures in the rear portion of the site is not acceptable. With this configuration, the refuse trucks have no space to turn around, since they cannot use the tarmac/taxiway. Hammerhead turnarounds are not permitted, unless written approval is received from Mark Powell in the City of Scottsdale Commercial Sanitation Division. The final improvement site plan shall provide proper space to turn around the refuse trucks.
46. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures and #2147-1 for double enclosures.
47. Enclosures must:
 - a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - b. Be positioned to facilitate collection without "backtracking."
 - c. Be easily accessible by a simple route.
 - d. Not require backing more than 35 feet.
 - e. Not be located on dead-end parking aisles.
 - f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

M. Refuse enclosures are required as follows:

- (1) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

N. Underground vault-type containers are not allowed.

O. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

P. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

48. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:

Ordinance

- Q. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:

DRB Stipulations

49. On-site sanitary sewer shall be privately owned and maintained.
50. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

- R. Privately owned sanitary sewer shall not run parallel within the waterline easement.
- S. The developer shall construct a monitoring manhole for this site. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All development within industrial (I-1) zoned districts shall provide a monitoring manhole.
- T. The developer shall provide an oil and grease interceptor. They shall be provided at service and body shop connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

CONSTRUCTION REQUIREMENTS

Ordinance

- U. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]